

FINAL PLAT

MYLES RIDGE

OWNER/DEVELOPER
MILLINGTON GROUP II
5530 WEST PARKWAY, SUITE 400
JOHNSTON, IOWA 50331
515-657-6930

ZONING
R-15 SUBURBAN DENSITY SINGLE FAMILY

LAND USE
EXISTING: VACANT
PROPOSED: SINGLE FAMILY RESIDENTIAL
SETBACKS
FRONT - 30'
REAR - 30'
SIDE - 8'

FRM MAP DESIGNATION
THIS SITE IS WITHIN ZONE 'X' (AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN) AS REFERENCED ON FLOOD INSURANCE RATE MAP (FIRM), MAP NO. 190230 0005 D, MAP REVISED JULY 19, 2000.

LEGAL DESCRIPTION

LOT 1 OF PAUL'S PLACE, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF URBANDALE, DALLAS COUNTY, IOWA, EXCEPT THE SOUTH 60 FEET THEREOF, SUBJECT TO EASEMENT OR RESTRICTIONAL COVENANTS, AND COVENANTS OF RECORD, ON THE ORIGINAL FIRM MAP, USE ONLY, THE EAST 20 FEET OF THE ORIGINAL FIRM MAP, USE ONLY, AND RESTRICTIONS AND RESERVATIONS OF RECORD.

LOT 2 OF PAUL'S PLACE, AN OFFICIAL PLAT, LOCATED IN URBANDALE, DALLAS COUNTY, IOWA, EXCEPT THE SOUTH 60 FEET THEREOF, SUBJECT TO ALL EASEMENTS, MINERAL RESERVATIONS, AND COVENANTS OF RECORD.

SAID TRACT OF LAND CONTAINS 14.65 ACRES MORE OR LESS.

LEGEND

- ▲ PLAT BOUNDARY
- FOUND CORNER, AS NOTED
- SET CORNER 5/8" I.R. W/ YELLOW CAP #1536
- I.R. IRON ROD
- G.P. GAS PIPE
- D. MEASURED DISTANCE
- M. PREVIOUSLY RECORDED DISTANCE
- R. PUBLIC UTILITY EASEMENT
- P.U.E. ADDRESS
- B.S.L. BUILDING SETBACK LINE
- M.I.C. MINIMUM OPENING ELEVATION
- M.G.S. MINIMUM GRADE AT STRUCTURE
- N.R. NOT RADIAL

CERTIFICATION

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY DRAWING

KENNY J. CRAWFORD
IOWA LICENSE NO. 13156
IOWA LICENSE RENEWAL DATE IS DECEMBER 31, 2016
PAGES OR SHEETS COVERED BY THIS SEAL.
This sheet only.

COOPER CRAWFORD & ASSOCIATES, L.L.C.

CIVIL ENGINEERS

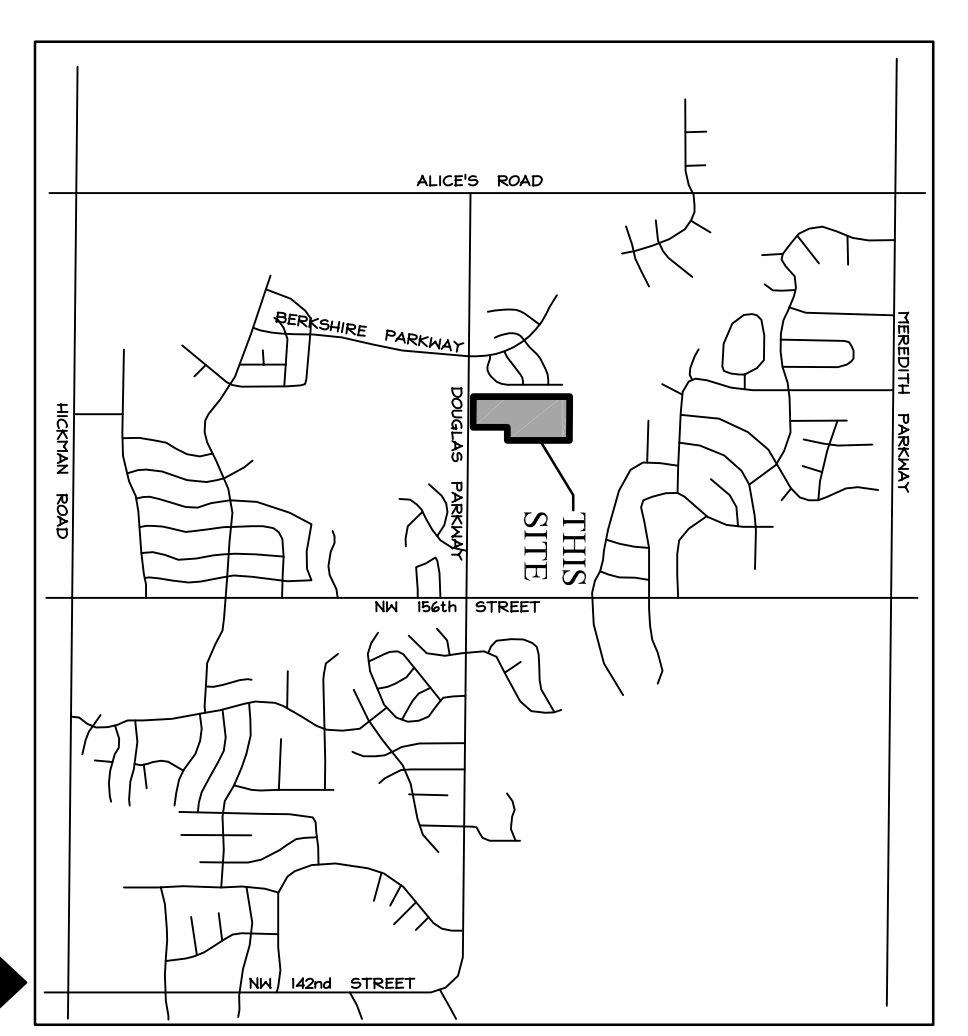
475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50325
PHONE: (515) 224-1344 FAX: (515) 224-1345
DATE: XX/XX/14

REVISIONS:

JOB NUMBER

SCALE: 1"=60'
INITIALED: AS-BUILT:
FINAL PLAT
SHEET 1 OF 1

LOT #	M.G.S.	M.O.E.
1	183.00	---
2	183.00	---
3	186.00	---
4	186.00	---
5	183.00	---
6	180.00	---
7	180.00	---
8	182.00	---
9	183.00	---
10	183.00	---
11	183.00	---
12	181.00	---
13	181.00	---
14	179.00	---
15	175.00	---
16	175.00	---
17	174.00	---
18	171.00	---
19	173.00	---
20	174.00	---
21	172.00	---
22	175.00	---
23	175.00	---
24	175.00	---
25	175.00	---
26	176.00	---
27	177.00	---
28	177.00	---
29	176.00	---
30	174.00	---
31	169.00	---
32	174.00	---
33	182.00	---
34	182.00	---
35	191.00	---
36	191.00	---



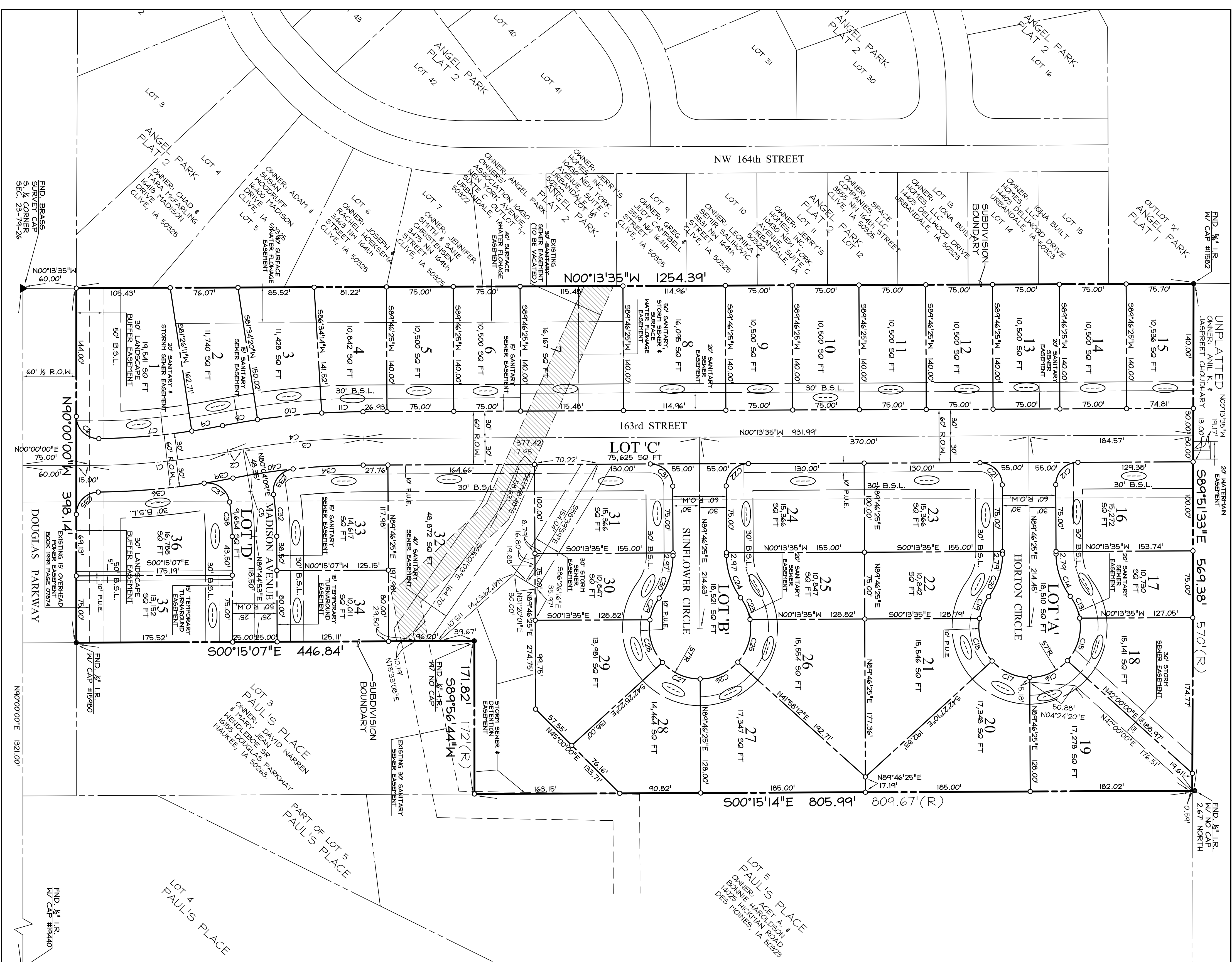
VICINITY SKETCH

NOTES

- ALL LOT CORNERS SHALL BE SET WITHIN ONE YEAR OF RECORDING. BOUNDARY HAS AN ERROR OF CLOSURE 2.153 THAN ON 10,000.
- EACH LOT IN THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1 IN 5,000.
- IN ANY AREA WHERE A PUBLIC UTILITY EASEMENT (P.U.E.) OVERLAPS, OR IS CONCURRENT WITH, A DESIGNATED UTILITY EASEMENT FOR SANITARY SEWER, WATER MAIN OR STORM SEWER, THE USE OF THE P.U.E. IS SUBORDINATE TO THE USE OF A DESIGNATED EASEMENT FOR SANITARY SEWER, WATER MAIN OR STORM SEWER PURPOSES. UTILITIES LOCATED IN THE DESIGNATED EASEMENT FOR SANITARY SEWER, WATER MAIN OR STORM SEWER PURPOSES MUST RELOCATE WITHOUT EXPENSE TO THE OWNER OF THE SANITARY SEWER, WATER MAIN OR STORM SEWER UTILITY. THE USE OF ANY FUTURE USE OF THE EASEMENT DESIGNATED FOR SANITARY SEWER, WATER MAIN OR STORM SEWER PURPOSES.
- LOTS 'A', 'B', 'C' & 'D' TO BE DEDED TO THE CITY OF URBANDALE FOR STREET PURPOSES.
- MANHOLES NOT LOCATED ON A LOT LINE NEED TO BE LOCATED OUTSIDE OF FUTURE DRIVEWAYS.
- DRIVEWAYS SHALL NOT BE PLACED OVER PUBLIC SEMER STRUCTURES.
- MAINTENANCE OF THE TILE LINES WILL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION.

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH BEARING
C1	110.96°	800.00	156.06	78.20	155.81	N05°35'18.11W
C2	114.45°	800.00	173.91	87.70	177.94	N05°35'18.11W
C3	142.16°	800.00	153.50	77.75	153.24	S05°04'43.81E
C4	92.00°	800.00	153.50	77.75	153.24	S05°04'43.81E
C5	42.00°	300.00	50.69	25.40	50.62	S04°24'22.10E
C6	90.46°	25.00	39.61	25.34	35.84	N04°33'45.61E
C7	74.74°	770.00	104.75	52.46	104.67	N04°33'45.61E
C8	27.44°	830.00	39.82	19.81	39.82	S09°48'08.21E
C9	27.44°	770.00	35.12	17.56	35.11	N09°52'12.71W
C10	47.91°	830.00	72.41	36.23	72.39	S05°55'43.81E
C11	31.21°	830.00	29.21	14.60	29.21	S09°49'41.01E
C12	90.00°	55.00	29.72	29.00	29.26	S08°13'35.81E
C13	34.35°	80.00	11.09	26.45	50.23	S08°13'35.81E
C14	34.35°	80.00	51.09	26.45	50.23	N13°33'14.11W
C15	47.74°	57.00	47.53	27.66	49.77	N04°06'47.11W
C16	47.74°	57.00	47.53	25.24	46.16	N04°06'47.11W
C17	47.46°	57.00	47.53	25.24	46.16	N04°06'47.11W
C18	51.46°	57.00	51.51	27.66	49.77	N03°39'39.91E
C19	27.02°	57.00	26.90	13.71	26.65	S07°09'26.61E
C20	36.95°	80.00	31.09	26.45	50.23	N17°55'53.11W
C21	40.00°	25.00	39.72	28.00	39.26	S04°46'28.11W
C22	36.95°	57.00	26.72	13.61	26.48	S04°46'28.11W
C23	36.95°	57.00	51.09	26.45	50.23	N17°55'53.11W
C24	36.95°	80.00	51.09	26.45	50.23	N17°55'53.11W
C25	51.55°	57.00	51.66	27.75	49.41	N13°32'23.21E
C26	47.48°	57.00	47.56	25.26	46.19	N03°40'32.61E
C27	47.48°	57.00	47.56	27.75	49.41	N03°40'32.61E
C28	26.51°	57.00	26.72	13.61	26.48	S07°04'02.61E
C29	26.51°	80.00	31.09	26.45	50.23	N17°55'53.11W
C30	40.00°	25.00	39.72	28.00	39.26	S04°46'28.11W
C31	40.00°	325.00	47.17	23.63	47.13	S05°29'45.61E
C32	40.00°	325.00	47.17	23.63	47.13	S05°29'45.61E
C33	90.28°	25.00	40.35	26.41	36.11	S03°09'30.71E
C34	51.51°	770.00	78.81	39.44	78.77	S03°09'30.71E
C35	89.19°	25.00	39.98	24.71	39.15	N04°27'15.11W
C36	89.19°	830.00	114.29	54.75	114.19	N04°27'15.11W
C37	90.33°	25.00	39.81	19.47	38.54	S05°21'51.11W
C38	80.53°	275.00	39.88	16.46	38.51	N02°07'27.11W
C39	216.18°	850.00	32.51	16.46	32.51	N02°07'27.11W
C40	5.05°	770.00	69.39	34.20	69.39	S08°39'00.01E



APPROVED: [Signature]
SCALE: 1"=60'
INITIALED: AS-BUILT:
FINAL PLAT
SHEET 1 OF 1