



PLAT 2

PLAT 1

SYMBOLS SHOWN ARE PRELIMINARY ONLY AND SUBORDINATE TO THE OFFICIAL PLAT RECORDS FOR EXACT LOT BOUNDS AND EASEMENT LOCATIONS.



HIDDEN VALLEY ESTATES

HIDDEN VALLEY ESTATES PLAT 1 & 2



10 FT

Bishop Engineering
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HIDDEN VALLEY ESTATES PLAT 2
 JOHNSON, OWA

PRELIMINARY PLAT

10/11/11
 TOP 1

OWNER:
HIDDEN VALLEY ESTATES, LLC
7070 FOREST DRIVE
JOHNSTON, IOWA 50131

PREPARED FOR:
HIDDEN VALLEY ESTATES, LLC
7070 FOREST DRIVE
JOHNSTON, IOWA 50131

PREPARED BY:
LARRY HYLER PLS
BISHOP ENGINEERING
URBANDALE, IA 50322
(515) 276-0467

PROPERTY DESCRIPTION:
OUTLOT V IN ELMERODO ESTATES PLAT 4, AN OFFICIAL PLAT IN THE CITY OF JOHNSTON, POLK COUNTY, IOWA.
SAID TRACT OF LAND CONTAINS 7.89 ACRES.
SAID TRACT OF LAND BEING SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS OF RECORD.

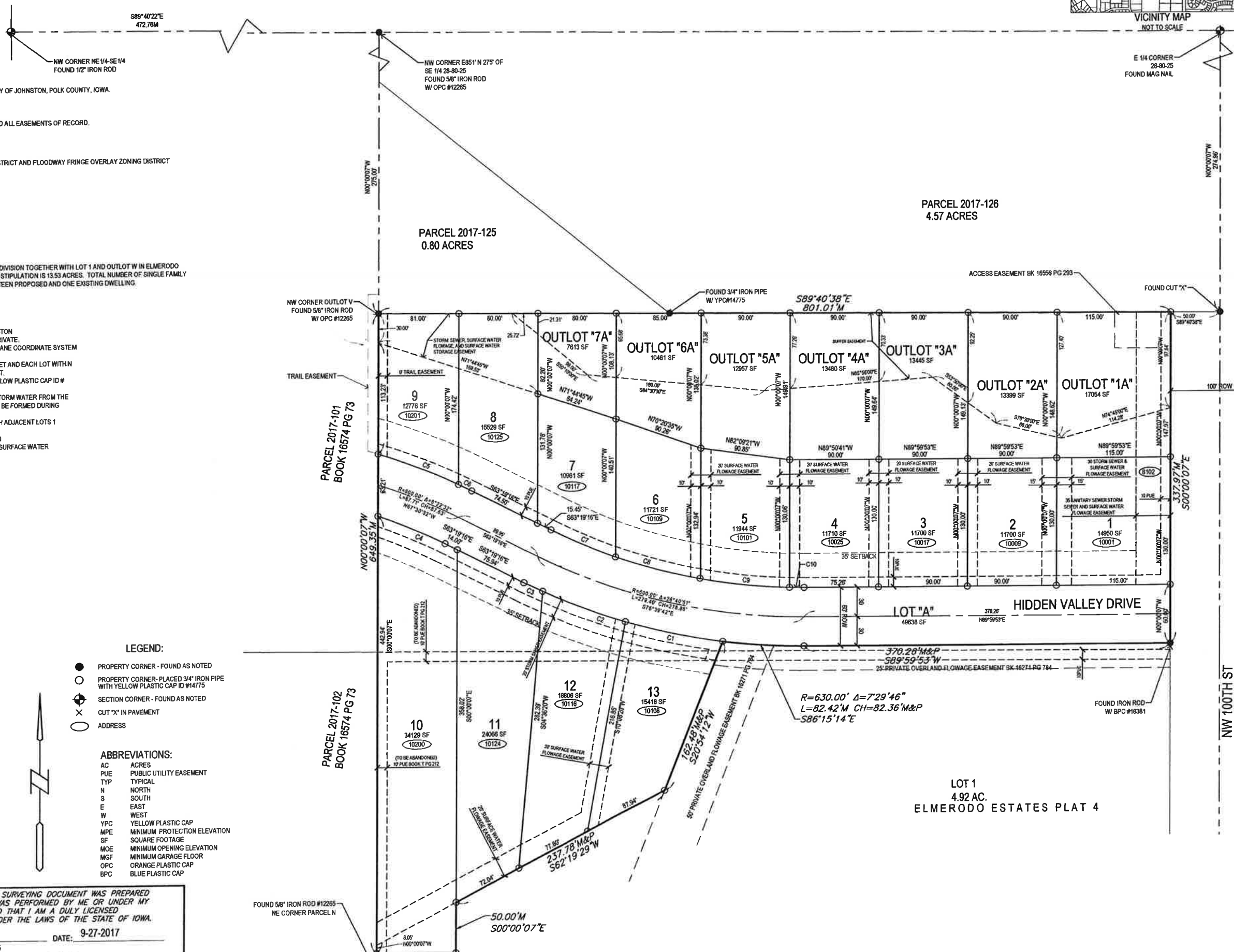
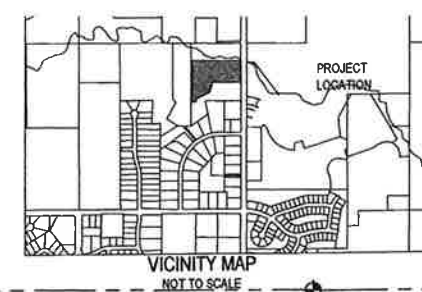
EXISTING ZONING
R-1 (75) SINGLE FAMILY RESIDENTIAL
AREAS OF THE SITE ARE SUBJECT TO FLOODWAY OVERLAY ZONING DISTRICT AND FLOODWAY FRINGE OVERLAY ZONING DISTRICT

- BULK REGULATIONS:
- DENSITY: 1.35 UNITS/ACRE MAXIMUM
 - MINIMUM LOT AREA: 9500 SF
 - MINIMUM LOT WIDTH: 75 FEET
 - FRONT YARD SETBACK: 35 FEET
 - REAR YARD SETBACK: 35 FEET
 - SIDE YARD SETBACK: 8 FEET MINIMUM / 17 FEET TOTAL
 - MAXIMUM HEIGHT: 35 FEET

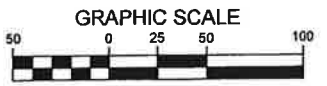
PROPOSED DENSITY
A DEVELOPMENT AGREEMENT RESTRICTS THE DENSITY FOR THIS SUBDIVISION TOGETHER WITH LOT 1 AND OUTLOT W IN ELMERODO ESTATES PLAT 4 TO 1.35 UNITS PER ACRES. TOTAL AREA HELD BY THIS STIPULATION IS 13.53 ACRES. TOTAL NUMBER OF SINGLE FAMILY DEVELOPMENT LOTS IN THIS AREA IS FOURTEEN. THIS INCLUDES THIRTEEN PROPOSED AND ONE EXISTING DWELLING.
PROPOSED DENSITY = 14 LOTS / 13.53 ACRES = 1.03 UNITS PER ACRE.

- GENERAL NOTES:
- LOTS "A" IS A STREET LOTS TO BE DEDICATED TO THE CITY OF JOHNSTON
 - ALL EASEMENTS SHALL BE PUBLIC UNLESS OTHERWISE NOTED AS PRIVATE.
 - BEARINGS DERIVED FROM GPS OBSERVATIONS USING THE STATE PLANE COORDINATE SYSTEM (NAD83 - IOWA SOUTH)
 - THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1" IN 10,000 FEET AND EACH LOT WITHIN THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1" IN 5,000 FEET.
 - ALL LOT CORNERS HAVE BEEN SET WITH A 3/4" IRON PIPE WITH A YELLOW PLASTIC CAP ID # 14775 OR AS NOTED.
 - ALL SIDE YARD SETBACKS ARE INTENDED TO BE USED TO CONVEY STORM WATER FROM THE SUBJECT LOT AND ANY ADJACENT LOTS. THEREFORE SWALES SHALL BE FORMED DURING HOME CONSTRUCTION TO CONVEY SAID STORM WATER
 - OUTLOT "A" THROUGH OUTLOT "7A" TO BE CONVEYED AND TIED WITH ADJACENT LOTS 1 THROUGH LOT 7. FOR EXAMPLE OUTLOT "A" IS TIED TO LOT 1
 - LOCATED IN FIRM MAP PANEL 19090100850 EFFECTIVE DATE 7-19-2000
 - OUTLOT "A" THROUGH OUTLOT "7A" INCLUSIVE ARE STORM SEWER, SURFACE WATER FLOWAGE AND SURFACE WATER STORAGE EASEMENTS

FINAL PLAT



CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	99.98	630.00	99.88	S77°57'34"E	9°05'35"
C2	90.29	630.00	90.22	S89°18'26"E	8°12'42"
C3	20.67	630.00	20.67	S64°15'40"E	1°52'48"
C4	73.37	570.00	73.32	N67°00'31"W	7°22'30"
C5	87.05	630.00	86.98	N68°38'20"W	7°54'59"
C6	14.95	630.00	14.95	N64°00'03"W	1°21'34"
C7	71.99	570.00	71.96	S66°56'23"E	7°14'13"
C8	88.09	570.00	88.01	S74°59'08"E	8°51'18"
C9	90.60	570.00	90.50	S83°57'58"E	9°06'24"
C10	14.75	570.00	14.75	S89°15'39"E	1°28'56"



- LEGEND:
- PROPERTY CORNER - FOUND AS NOTED
 - PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #14775
 - ⊗ SECTION CORNER - FOUND AS NOTED
 - ⊗ CUT "X" IN PAVEMENT
 - ADDRESS
- ABBREVIATIONS:
- AC ACRES
 - PUE PUBLIC UTILITY EASEMENT
 - TYP TYPICAL
 - N NORTH
 - S SOUTH
 - E EAST
 - W WEST
 - YPC YELLOW PLASTIC CAP
 - MPE MINIMUM PROTECTION ELEVATION
 - SF SQUARE FOOTAGE
 - MOE MINIMUM OPENING ELEVATION
 - MGF MINIMUM GARAGE FLOOR
 - OPC ORANGE PLASTIC CAP
 - BPC BLUE PLASTIC CAP

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.
SIGNED: LARRY D. HYLER, L.S. 14775 DATE: 9-27-2017

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Civil Engineering & Land Surveying
Established 1959

HIDDEN VALLEY ESTATES PLAT 1
JOHNSTON, IOWA
FINAL PLAT

REFERENCE NUMBER:	
DRAWN BY:	BA
CHECKED BY:	LH
REVISION DATE:	
PROJECT NUMBER:	160368
SHEET NUMBER:	1 OF 1