

Owner/Developer:
 Attn: John Larson
 Dallenbach Larson, LLC
 5721 Merle Hay Road
 Johnston, Iowa 50131
 Ph: 515-491-4090
 Fx: 515-276-4156
 e-mail: johnlarson89@gmail.com

Engineer/Surveyor:
 Mark A. McMurphy, PE&PLS
 Abaci Consulting, Inc.
 101 NE Circle Drive
 Grimes, IA 50111
 Ph: 515-986-5048
 Fx: 515-986-0588
 e-mail: Mark@AbaciConsulting.com

LEGAL DESCRIPTION:
 Outlot Z, Silverstone Plat 1, Official Plat, Johnston, Polk County, Iowa (except for Parcel A as recorded at Book 14521, Page 499). And, Parcel B as recorded at Book 14521, Page 500 being part of Lot 1, Silverstone Minor Plat, Official Plat, Johnston, Polk county, Iowa. Said Parcel contains 20.261 acres and being subject to easements of record.

ZONING NOTES:
 Z1) Existing zoning and proposed zoning is R-1(75), Single Family Residential.
 Z2) Bulk Regulations: Req'd. Proposed
 Front BSB 35' 35'
 Side BSB 10'/21'sum 10'/21'sum
 Rear BSB 35' 35'

Z3) See the Zoning Ordinance for additional requirements/restrictions.
 Z4) No variances are proposed for this development.
 Z5) This site is not within any Overlay district.

General Notes:
 N1) All construction shall be in accordance with the Development Agreement between Silverstone, LC and the City of Johnston, dated March 3, 2006 (BK11568 PG133-137).
 N2) All construction shall be in accordance with the Statewide Urban Design Standards for Public Improvements and City of Johnston Supplemental Specifications.
 N3) This document is preliminary in nature. The information should not be used for boundary retracement. Refer to the Final Plat at the Polk County Records Office for boundary retracement information.

Utility Notes:
 U1) The proposed water supply is provided by the City of Johnston.
 U2) The sanitary sewerage treatment is provided by the City of Johnston.
 U3) The proposed electric and gas supply are provided by Mid-American Energy, Phone 1-888-427-5632.
 U4) The telephone service is by Century Link.
 U5) Maintain 5.5' minimum cover at all water lines. At sewer crossing maintain 18" minimum vertical clearance and 10' minimum horizontal clearance.
 U6) The utilities shown here are for Preliminary Plat purposes only. In the event of a discrepancy between this and the detailed construction drawings, the detailed construction drawings shall govern.
 U7) The individual lot developer shall verify the sanitary sewer service lateral elevation prior to construction.
 U8) In any area where a PUE overlaps a designated City of Johnston utility easement, the use of the PUE by any public utility is subordinate to the City's easement interest and use of the easement, including future use of the easement by the City. Any utility in conflict with the City's use of a designated utility easement must relocate the conflict without expense to the City.
 U9) The 12" water main will be raised to 5' depth where it crosses beneath NW 74th Place.

Pavement Notes:
 P1) The proposed street will be 26' b-b PCC with integral curb and gutter.
 P2) No storm or sanitary manholes, intakes or fire hydrants shall be located to conflict with sidewalk, trails or driveways.
 P3) The proposed pavement will be 7-inch thick PCC.
 P4) The proposed curbing will be standard 6" PCC.
 P5) The proposed 4' PCC sidewalk is to have a cross-slope of 2%.
 P6) Install 6'x12' concrete pad with cluster mail boxes per US Post Office requirements. Call Mark Jones at 515-986-3460 for information.

Grading Notes:
 G1) This site disturbs more than one acre. See the SWPPP prepared separately from this.
 G2) This site is in Zone "X" per FEMA FIRM map community-panel number 190901-0085 D with a revision date of 07-19-2000.
 G3) All grading shall be in accordance with the City of Johnston's Erosion and Sediment Control Ordinance.
 G4) The grading is balanced on site.
 G5) Any dirt or debris spilled on adjacent properties or right-of-way shall be cleaned up promptly.
 G6) Rock to be placed on construction entrance to prevent off-site tracking and dust generation.
 G7) Strip minimum of 4 inches of topsoil and stockpile outside of the grading area toward the back side of each lot (Lots 1-16), in open areas and away from trees. This topsoil is to be placed back over the graded area at the same thickness during finish grading.
 G8) 2,325 LF of silt fence to be installed at locations indicated on the SWPPP drawing.
 G9) The filter strip shall be maintained as dense woods of shall be planted in a dense heavy grass such as Type 3 Seed Mixture from Table 9010.08 of SUDAS.

JURISDICTIONAL SPECIFIC NOTES:
 J1) All construction shall be in accordance with the Iowa Statewide Urban Standard Specifications for Public Improvements (SUDAS) and any City of Johnston Supplemental Specifications except where explicitly indicated otherwise.
 J2) Obtain permit or written approval from the City (County or State) prior to commencing work within the right-of-ways. The contractor is responsible for any and all traffic control which shall be in accordance with the "Manual of Uniform Traffic Control Devices."

HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

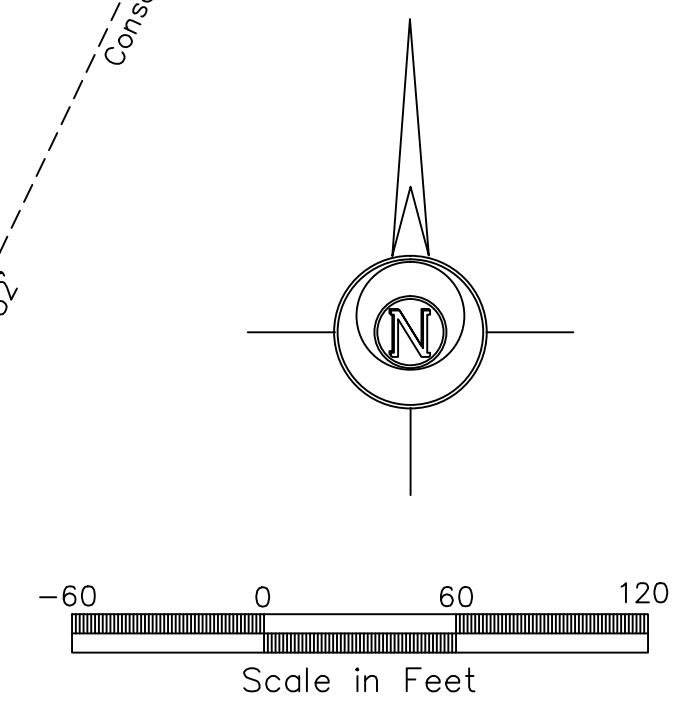
Preliminary

MARK A. MCMURPHY, IOWA LIC. NO. 14674 DATE _____
 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2014.
 ADDITIONAL PAGES COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE): _____

UTILITIES SHOWN FOR REFERENCE ONLY. IOWA LAW REQUIRES AT LEAST 48 HOURS ADVANCE NOTICE BEFORE EXCAVATION BEGINS. NOTIFY IOWA ONE-CALL SERVICE PHONE 1-800-292-8989. ADDITIONALLY, THE CONTRACTOR SHALL ALSO NOTIFY THE OWNER AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION AND HAVE ANY AND ALL PRIVATE UTILITIES LOCATED.

IOWA ONE CALL

CALL 48 HOURS BEFORE YOU DIG
 1-800-292-8989

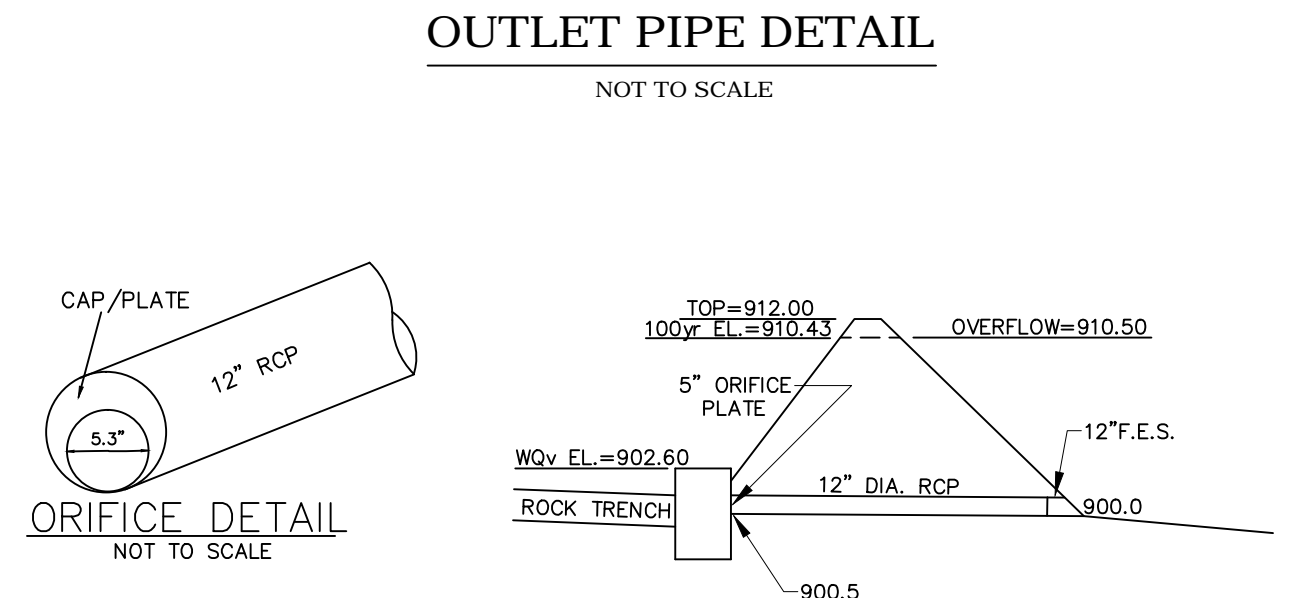


CURVE LENGTH TABLE

C1	8.51'
C2	51.77'
C3	60.79'
C4	54.26'
C5	96.05'
C6	14.80'

LOT AREA TABLE

1	27,663 Sq. Ft.	0.63 Ac.
2	23,332 Sq. Ft.	0.54 Ac.
3	21,903 Sq. Ft.	0.50 Ac.
4	23,607 Sq. Ft.	0.54 Ac.
5	23,631 Sq. Ft.	0.54 Ac.
6	24,207 Sq. Ft.	0.56 Ac.
7	23,237 Sq. Ft.	0.53 Ac.
8	42,471 Sq. Ft.	0.97 Ac.
9	99,967 Sq. Ft.	2.29 Ac.
10	33,181 Sq. Ft.	0.76 Ac.
11	26,747 Sq. Ft.	0.61 Ac.
12	25,100 Sq. Ft.	0.58 Ac.
13	22,858 Sq. Ft.	0.52 Ac.
14	20,477 Sq. Ft.	0.47 Ac.
15	19,402 Sq. Ft.	0.45 Ac.
16	29,425 Sq. Ft.	0.68 Ac.
Outlot ZZ	336,588 Sq.Ft.	7.73 Ac.



ABACI CONSULTING, INC.
 CIVIL ENGINEERING - LAND SURVEYING
 101 NE CIRCLE DR., GRIMES, IOWA 50111, PH. (515)986-5048

STANDARD SYMBOLS LEGEND:

○	IRON ROD FOUND	—W—W—	WATER MAIN	890x4	Proposed Spot Elevation (⊙ x)
○	1/2" DIA. x 30" IRON PIN SET	—G—G—	GAS MAIN	□	Proposed Contour
○	#14674 CAP	—U—U—	UNDERGROUND ELECTRIC	→	Drainage Direction
△	SECTION CORNER MONUMENT FOUND	—O—O—	OVERHEAD ELECTRIC		
△	SECTION CORNER MONUMENT SET	—T—T—	UNDERGROUND TELEPHONE		
+	FENCE LINE	+/-	MORE OR LESS		
CLF	CHAIN LINK FENCE	M./P.	MEASURED / PLATTED		

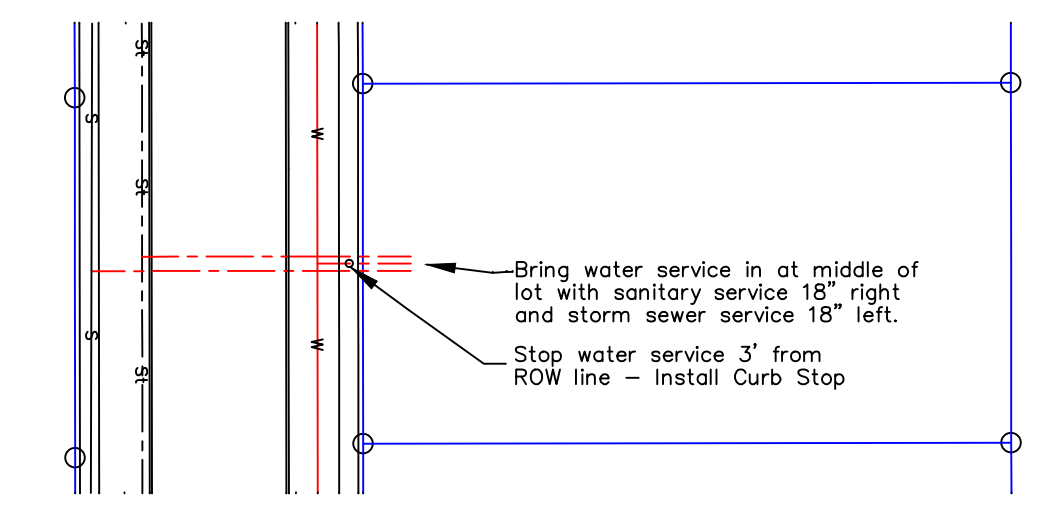
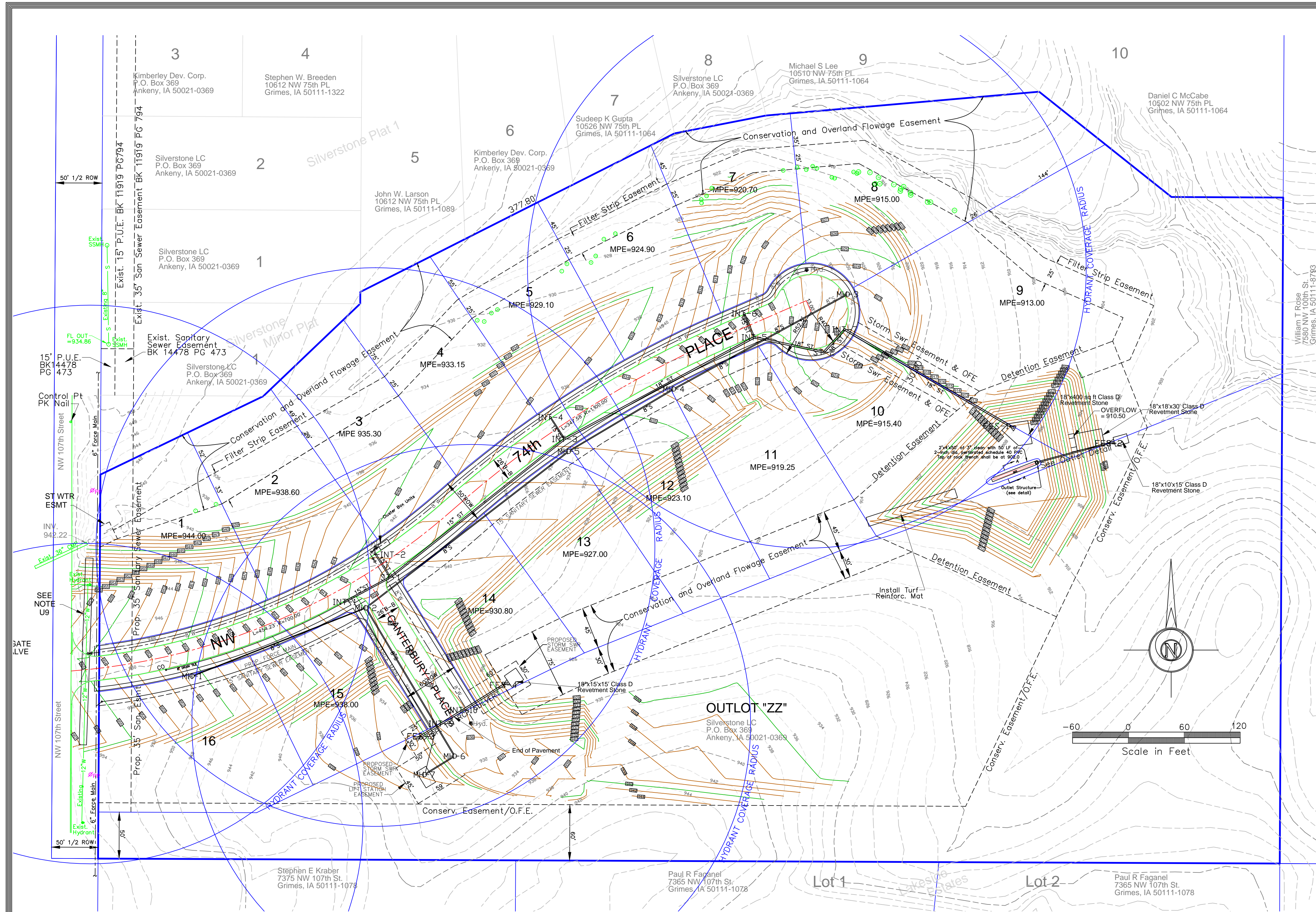
BENCHMARK:
 PK Nail set in east fog line of 107th, El. 952.28

REVISIONS:
 1-30-13: Per Comment letters from Foth (1-21-13), Greiner (1-22-13), and the City (1-23-13).
 2-14-13: Per City Comments

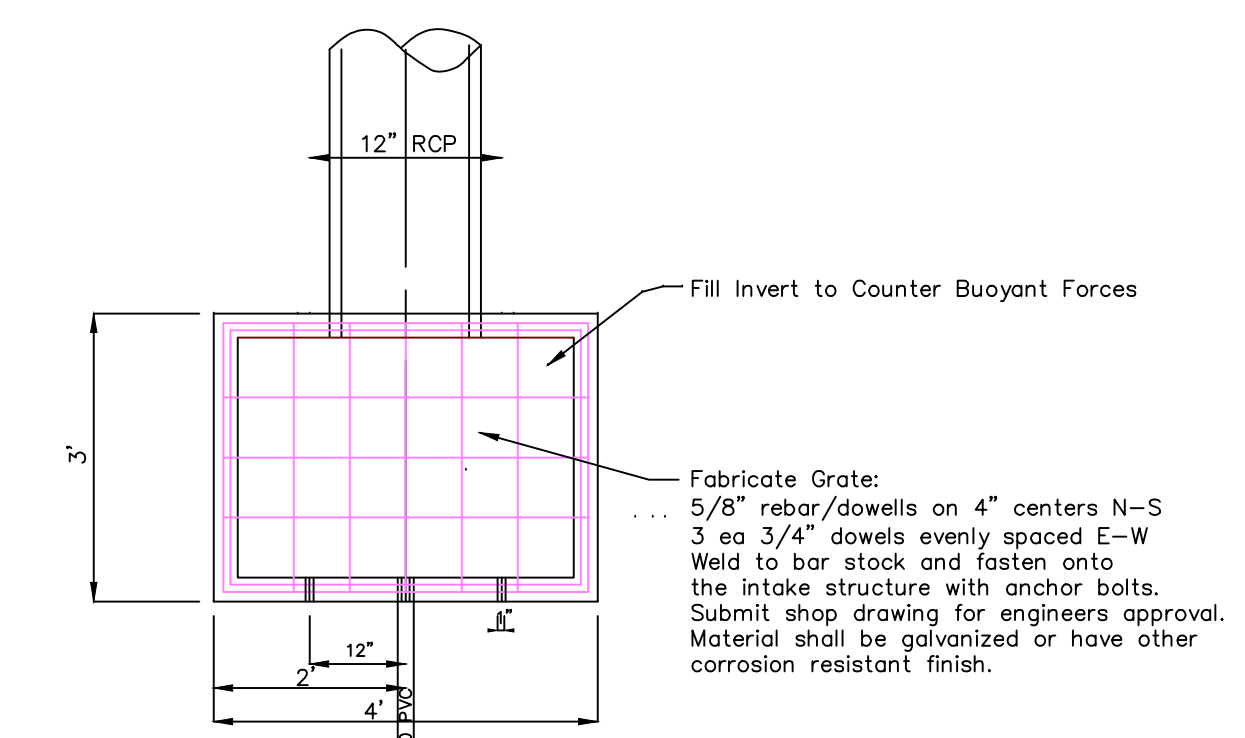
Preliminary Plat for Canterbury Woods, Johnston
 for
Dallenbach & Larson

SCALE: design check outside
 1" = 60 Feet

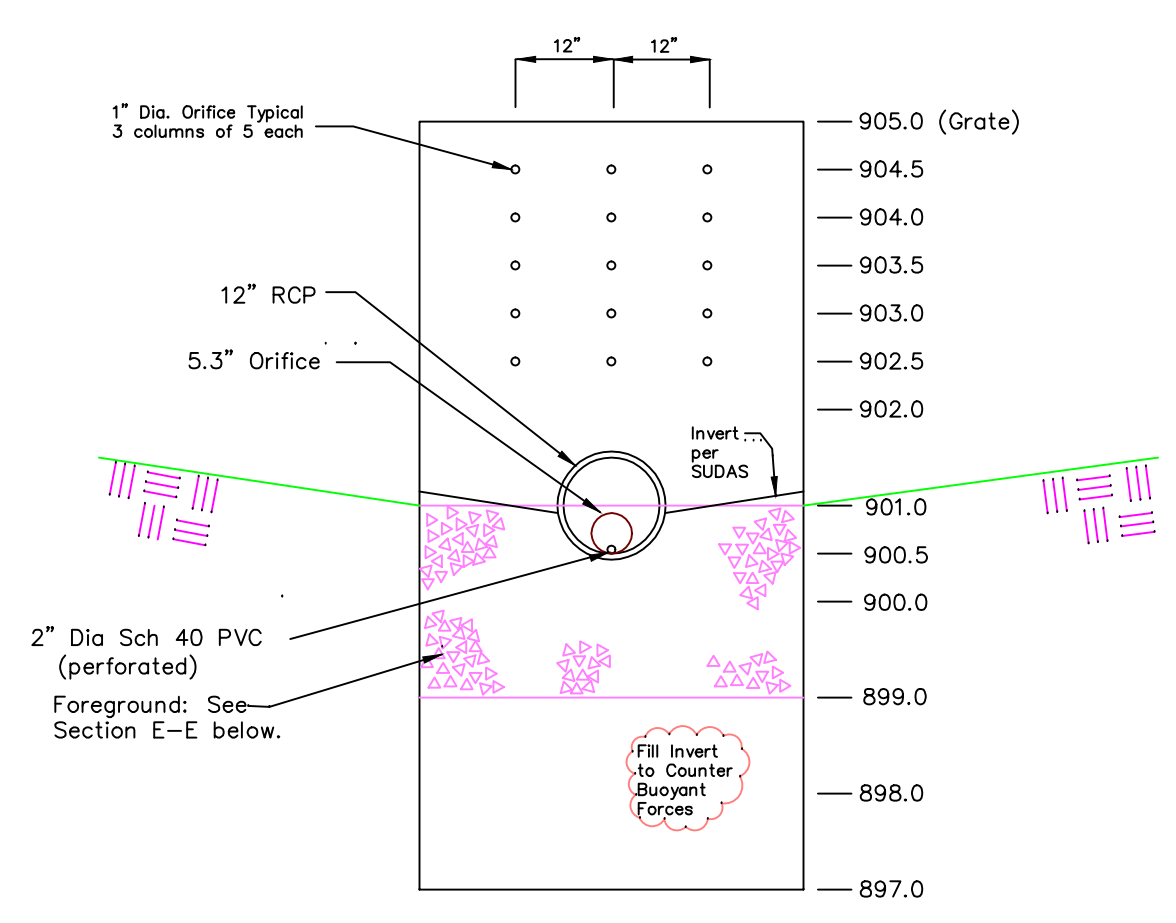
DRAWN BY: JS CHECKED BY: MM DATE OF COPYRIGHT: January 17, 2013 DRAWING NO: 13-00850



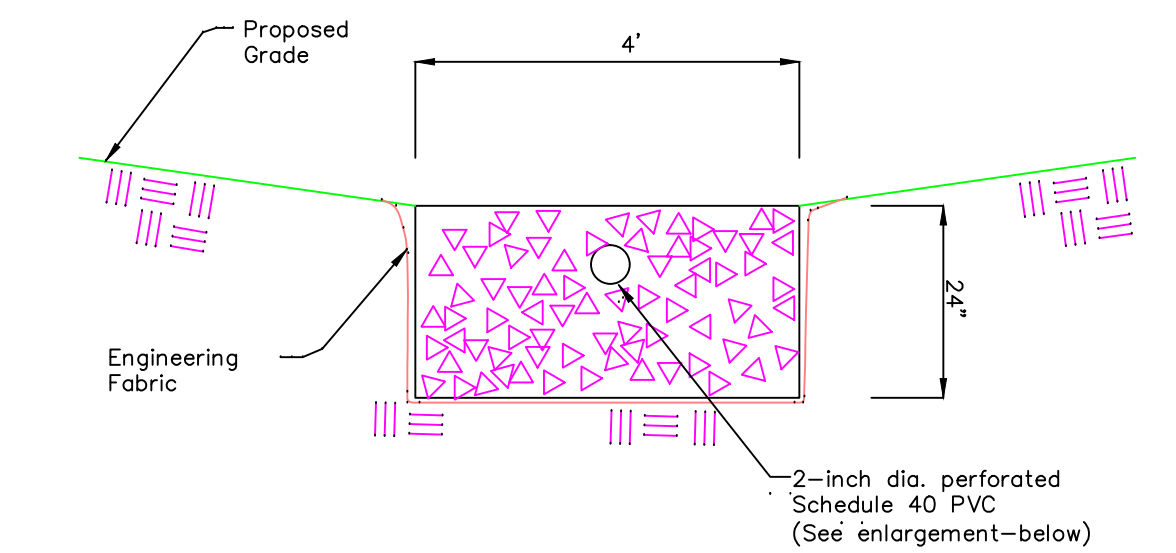
Typical Service Lateral Detail



OUTLET STRUCTURE PLAN VIEW
Scale: 1/2" = 1'-0"



OUTLET STRUCTURE SECTION
Scale: 1/2" = 1'-0"



Section A-A
Not to Scale

Existing Trees Outside Conservation Easement											
No.	Species	Size	No.	Species	Size	No.	Species	Size	No.	Species	Size
1	Locust	12"	11	Dogwood	8"	21	Cottonwood	24"	31	Dogwood	12"
2	Mulberry	10"	12	Mulberry	8"	22	Dogwood	6"	32	Dogwood	6"
3	Ash	12"	13	Dogwood	6"	23	Dogwood	6"	33	Elm	6"
4	Ash	18"	14	Dogwood	6"	24	Elm	6"	34	Elm	12"
5	Locust	18"	15	Elm	9"	25	Dogwood	6"	35	Dogwood	12"
6	Elm	24"	16	Dogwood	12"	26	Elm	12"	36	Elm	6"
7	Dogwood	6"	17	Dogwood	6"	27	Dogwood	6"	37	Mulberry	9"
8	Elm	6"	18	Elm	24"	28	Elm	18"	38	Elm	12"
9	Dogwood	24"	19	Birch	18"	29	Dogwood	9"	39	Dogwood	18"
10	Dogwood	18"	20	Dogwood	12"	30	Dogwood	12"			

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